

# **5, 20, 25 & 30 ORMOND STREET BANNOCKBURN**

## **INFRASTRUCTURE SERVICING ASSESSMENT**

REPORT V01

**TGM GROUP PTY. LTD.**

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Reference: 17170-02  
September 2020

**Client:** Ormond Street Landowners Group  
**Project:** 5, 20, 25 & 30 Ormond Street Bannockburn  
**Document:** Infrastructure Servicing Assessment (ISA)

### Document Status

Version	Document type	Prepared by	Reviewed by	Date Issued
V00	Infrastructure Servicing Assessment	A.W.	L.P.	
V01	Infrastructure Servicing Assessment	L.P.	L.P.	1/9/2020

### Project Details

<b>Project Name</b>	5, 20, 25 & 30 Ormond Street Bannockburn
<b>Client</b>	Ormond Street Landowners Group
<b>Client Project Manager</b>	L. Prossor
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<b>TGM Reference</b>	17170-02

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### Document Location

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## 1. INTRODUCTION

This Infrastructure Servicing Assessment has been prepared at the request of David Collins.

The subject site is currently zoned as Farming (FZ) and is within the Golden Plains Growth zone.

### Existing Conditions / Location

Numbers 5, 20 & 30 are located along Harvey Road and Ormond Street and Number 25 has access from Ormond street.



**Figure 1:** 5, 20, 25, 30 Ormond Street Bannockburn – *Locality Plan*

Any proposed development of 5, 20, 25 & 30 Ormond Road Bannockburn must be undertaken in accordance with the Golden Plains Shire Planning Scheme.

## 2. DEVELOPMENT PLAN

A concept Development Plan has been undertaken for 5, 20, 25, 30 Ormond Street Bannockburn, refer Figure 2 below.

The development plan shows the potential number of lots for each property Storm water management is subject to a separate report.

Council or service authorities have not approved the Development Plan layout hence the layout and lot yield will be likely to change based on input and comments from key stakeholders, but any changes are not expected to affect the servicing of the land.



**Figure 2:** 5, 20, 25, 30 Ormond Street Bannockburn - Development Plan

### 3. ACCESS

Direct access to the site is from Ormond Street, Bruce Street and Harvey Road. The addition of roads built within the proposed development site, will provide six extra access points from Ormond Road and one extra access road on Harvey Road which will provide access to all Lots.

### 4. DRAINAGE

The proposed development will result in an increase in impervious surfaces resulting in an increase in stormwater runoff volumes and pollutants.

Clause 56.07-04 of the Victoria Planning Provisions details the requirement for Residential sub-divisions to achieve the objectives of the State Environment Protection Policy (SEPP) as set out by the Urban Stormwater best practice environmental management guidelines (BPEMG) for stormwater quality.

As part of the proposed rezoning, a Site Stormwater Management Plan (SSMP) has been Prepared by TGM / CardnoTGM to assess the impact and proposed mitigation measures to achieve best practise requirements.

The SSMP shows that stormwater pollutants can be mitigated to meet 'best-practice' objectives with the adoption of a combination of one wetland and two raingardens.

### 5. SEWER

The proposed development land is located in South Bannockburn area. Barwon Water have stated that Golden Plains Shire have previously advised the proposed land zoning in this area as outlined in Figure 3:

- Land west of Ormond Street will be future residential land (filled red area)
- Land east of Ormond Street has been identified as priority future residential zone (highlighted in pink).

Barwon Water's Sewerage Planning team have previously indicated that a reticulated sewer can drain to the north to the existing sewer pump station located at the eastern end of Archie Lane. The proposed gravity sewer alignment is shown as a dotted red line.

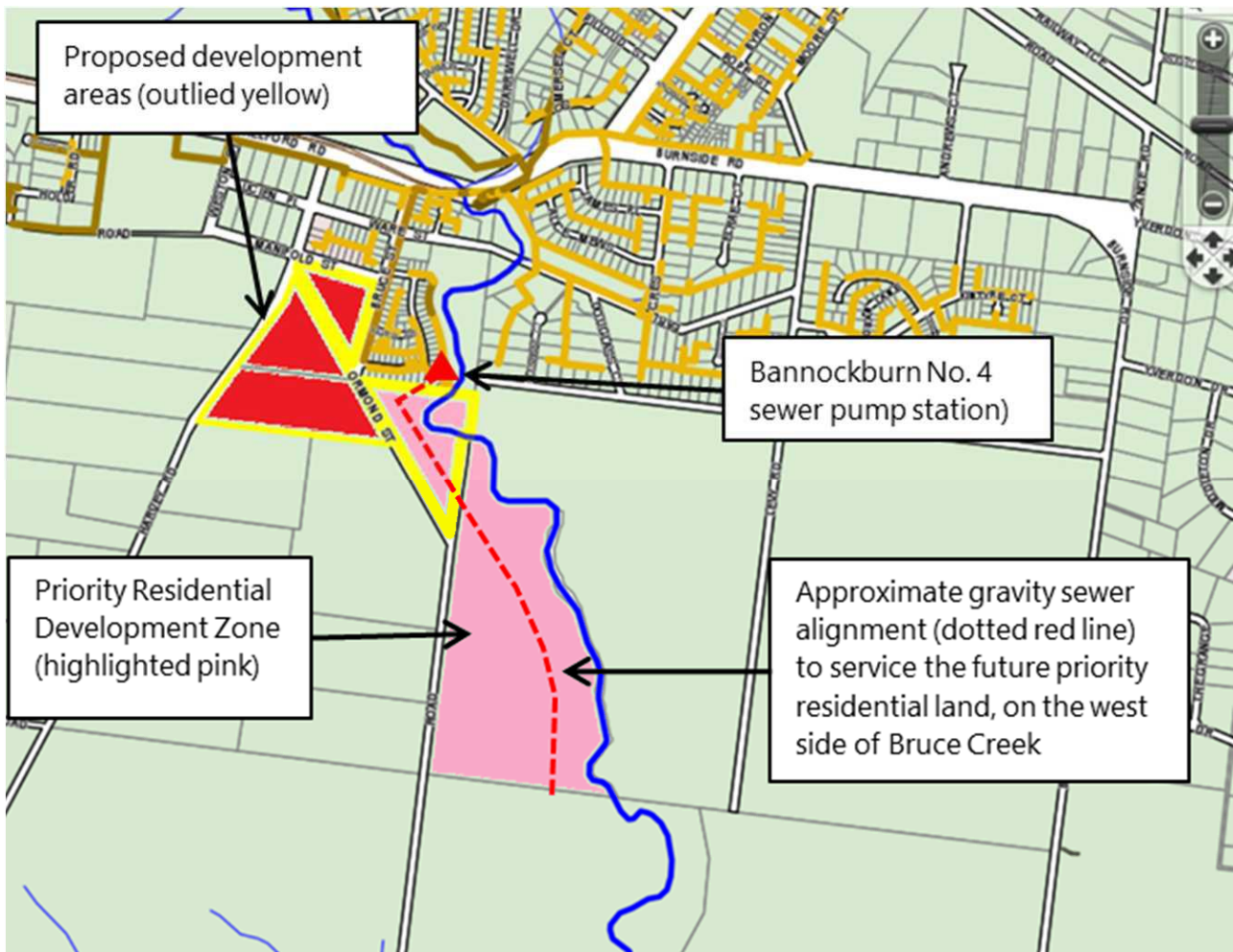


Figure 3: Development location within Bannockburn South

The existing Bannockburn sewer system is located towards the north east of the proposed development areas. There are 3 development areas that require a sewer service.

**AREA 1:** can be serviced by the existing DN300 gravity sewer within Bruce Street

**AREA 2:** the northern section can discharge into Area 1. The southern section can discharge into Area 3.

**AREA 3:** is located on land that is steep and naturally drains toward the east and Bruce Creek. The development can be accommodated by the Bannockburn No.4 Sewer Pump Station (red triangle). This pump station is deep and can accommodate Area 2.

Future sewers within Area 3

The future gravity sewers within Area 3 will need to have the appropriate depth to ensure it can service the future priority residential land to the south, as shown in figure 4.

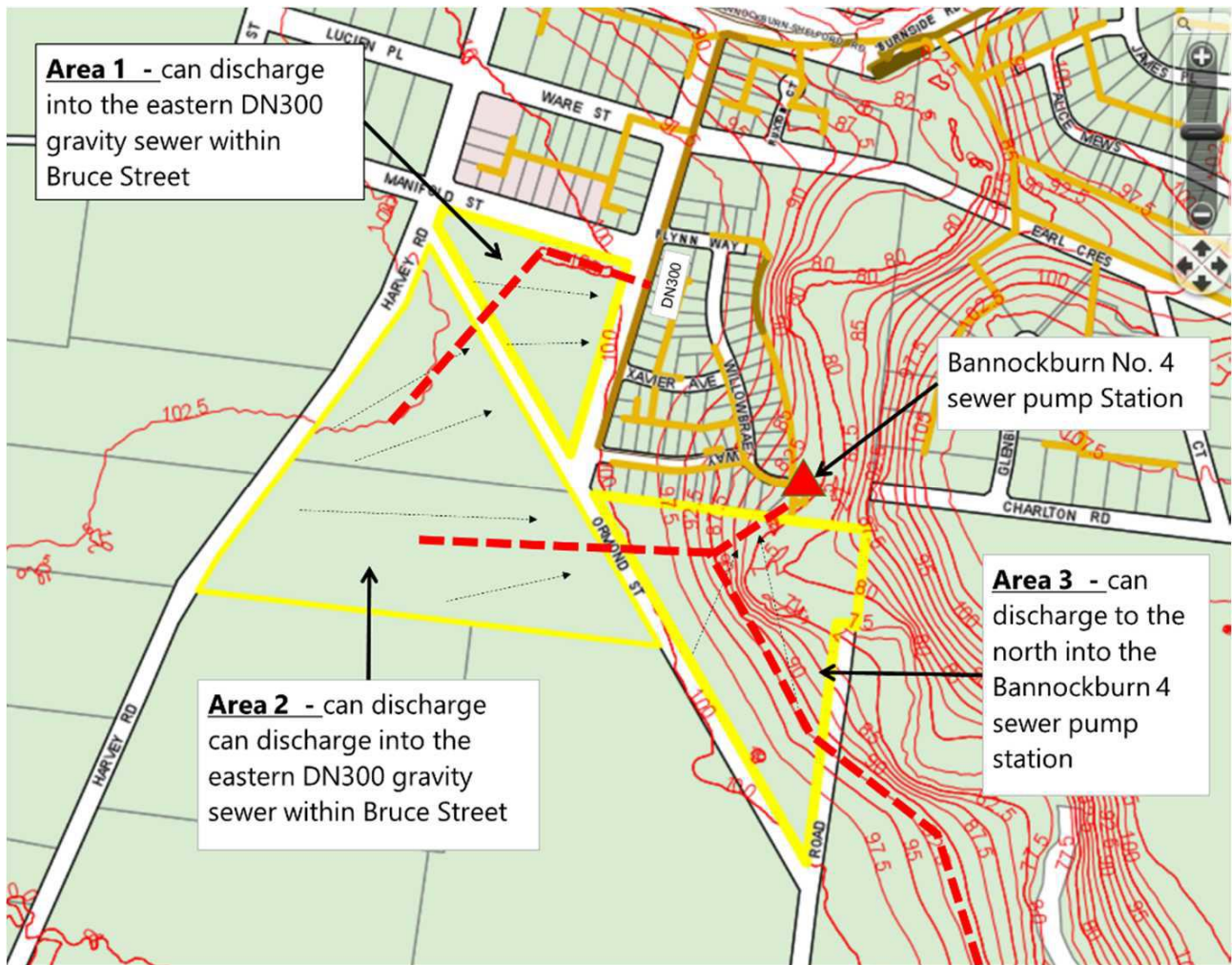


Figure 4: Proposed sewer strategy development at 5, 20, 25 and 30 Ormond St Bannockburn (Source: Barwon Water.)

## 6. WATER

This development will connect to the Bannockburn pressure zone which is a boosted water supply system with a full supply level of 167m AHD.

All dead end water mains will require a loop on the end of the water main. A DN300 shared water main will need to be constructed by the developer along Bruce street and south on Ormond Street. This come under shared assets and will be refunded by Barwon Water on take over.

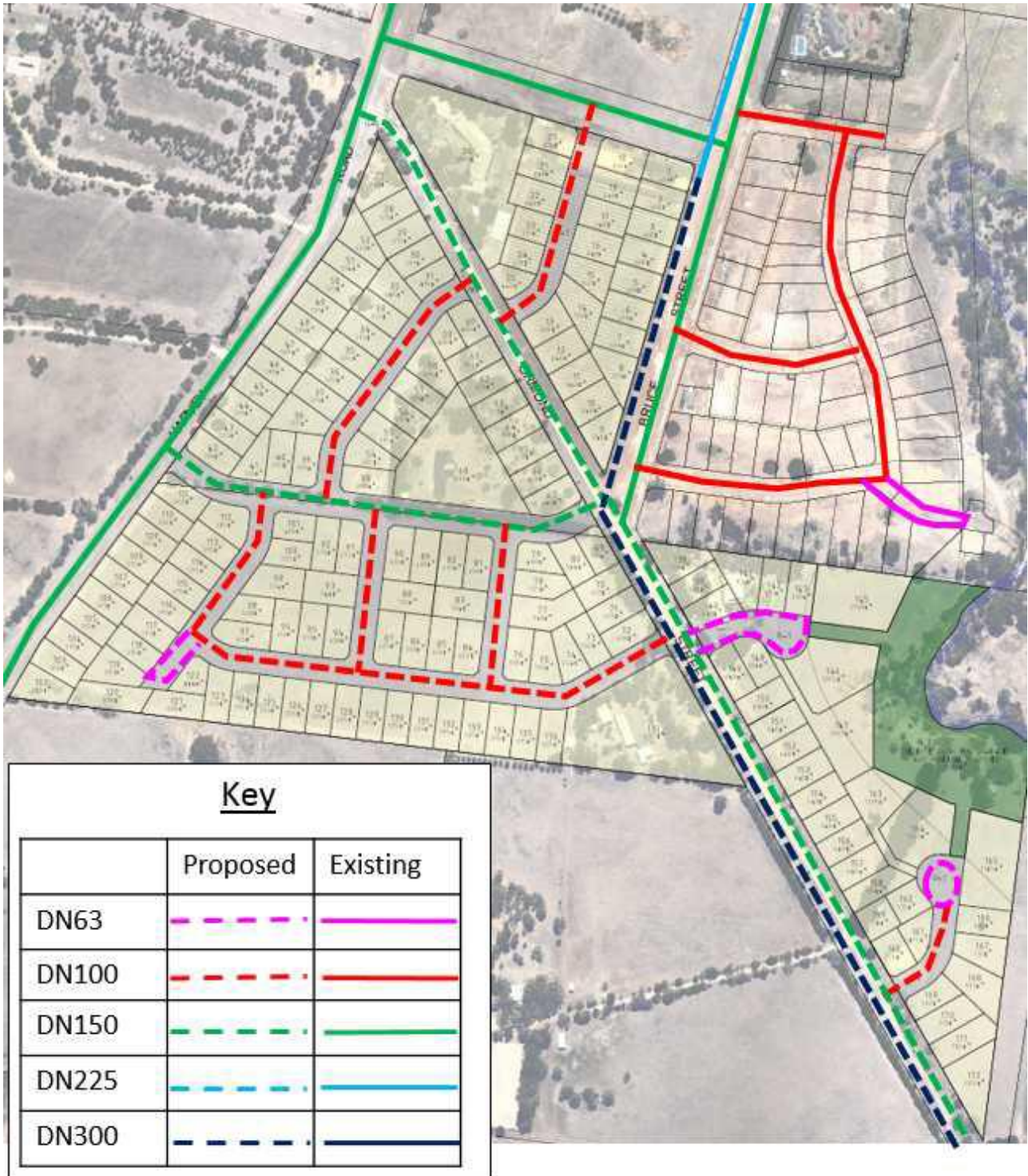


Figure 5: 5, 20, 25 and 30 Ormond Street Bannockburn-Water mains layout. (Source: Barwon Water)



## **RECYCLED WATER**

There is no recycled water infrastructure in this part of Barwon Water's network, therefore no recycled water reticulation is required to be provided.

## **7. ELECTRICITY**

The subject property can be supplied from Manifold Street. Two Triple Switch Kiosks will be required to service the whole development



**Figure 6:** 5,20,25 & 30 Ormond Street Bannockburn – Electricity network

## 8. GAS

The subject site has existing gas mains fronting the site within Manifold Street and Bruce Street. Ausnet Services have advised that these services have sufficient capacity to service the proposed development and will be required to be extended through the development as it occurs.



Figure 7: 5,20,25 & 30 Ormond Street Bannockburn – Gas network

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## 9. TELECOMMUNICATIONS

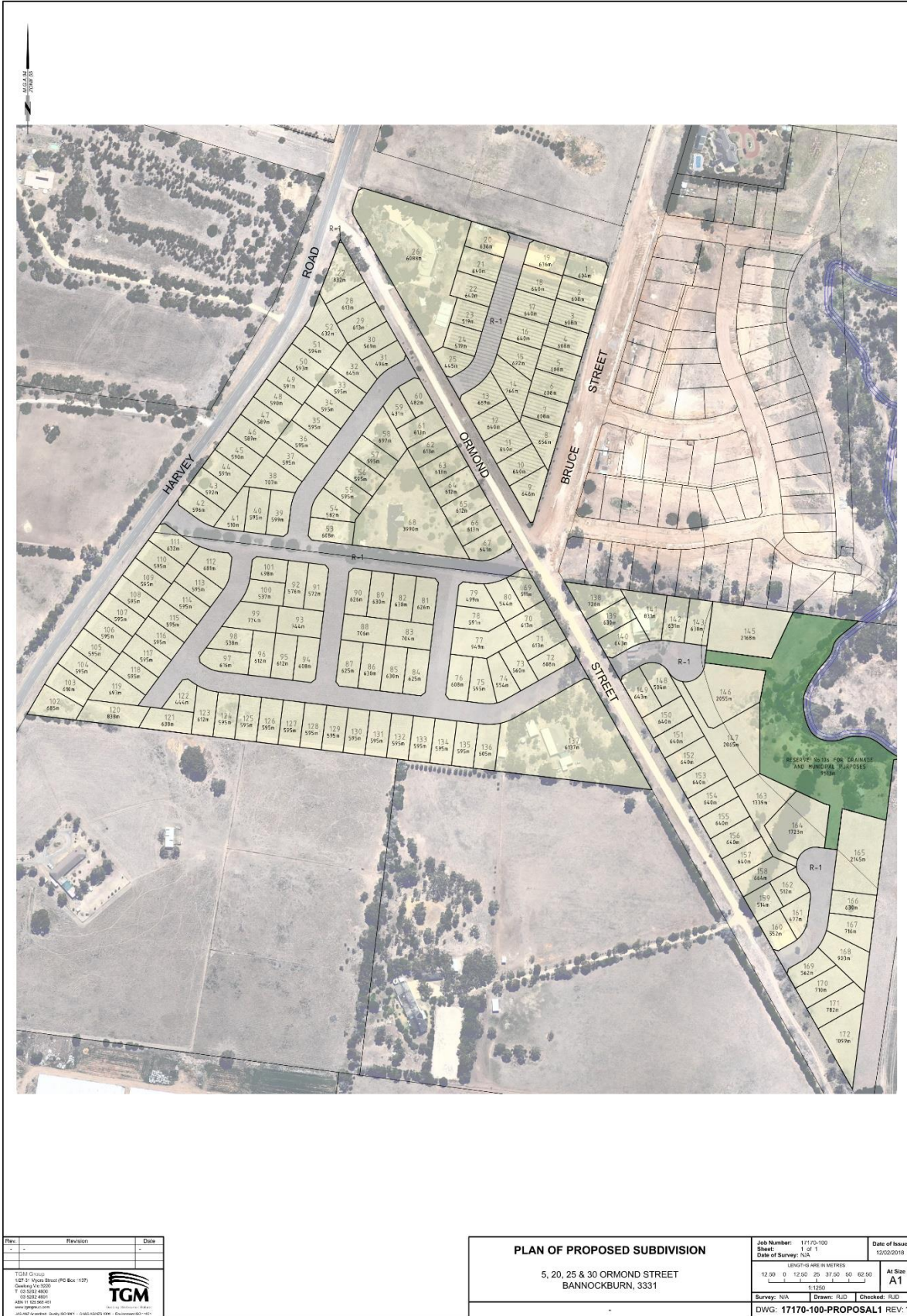
NBN have advised they are able to supply telecommunications to the development site.

Further discussion will be required with the individual telecommunication service providers to understand any potential or further network costs.

## 10. CONCLUSION

The report indicates that development can proceed at 5, 20, 25 and 30 Ormond Street Bannockburn as all required services can be provided to the site.

# APPENDIX A – DEVELOPMENT PLAN



Rev.	Revision	Date
-	-	-

TGM Group 127 St. Anne Street (PO Box 137) Bannockburn QLD QLD 4300 ABN 11 125 568 461 www.tgm.com.au	
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**PLAN OF PROPOSED SUBDIVISION**

5, 20, 25 & 30 ORMOND STREET  
 BANNOCKBURN, 3331

Job Number: 17170-100	Date of Issue: 12/02/2018
Sheet: 1 of 1	
Date of Survey: N/A	
LENGTHS ARE IN METRES	As Size A1
12 00 0 12 00 20 37 00 00 02 50	
1:1250	
Survey: N/A	Drawn: RLD Checked: RLD
DWG: 17170-100-PROPOSAL1 REV: 1	

## APPENDIX B – BARWON WATER SERVICING ADVICE



### Preliminary Servicing Advice

To: Coral Launer  
From: Yves Nininahazwe  
Date: 17 September 2018  
Subject: Water & Sewer Servicing Advice: 5, 20, 25 & 30 Ormond Street, Bannockburn

Dear Coral,

We have reviewed the water servicing advice for the development at 5, 20, 25 & 30 Ormond Street, Bannockburn, and we have the following comments.

#### Water Servicing Advice

The development will connect to the Bannockburn pressure zone, which is a boosted water supply system with a full supply level of 167 m AHD.

A water mains layout is shown in Attachment 1. All dead end water mains will require a 'loop' on the end of the water main. There will be a DN300 shared water main in Bruce Street and heading south on Ormond Street. The shared assets will be constructed by the developer and paid for by Barwon Water.



**Attachment 1: Water Mains Layout**

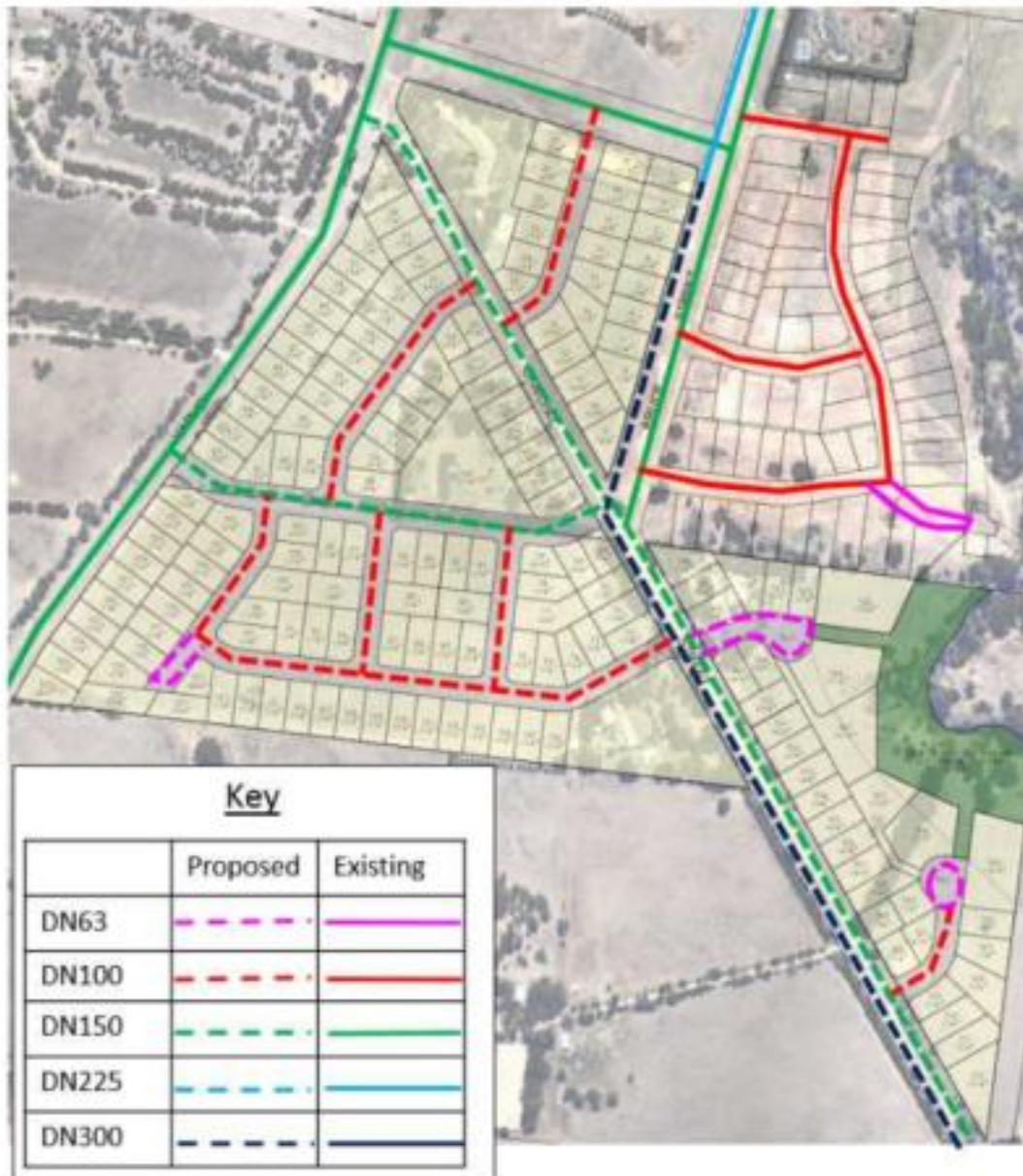


Figure 1: Water Mains Layout



### Sewer Servicing Advice

The proposed development land is located in South Bannockburn area, as shown in Plan 1 below (proposed development land is outlined yellow). The Golden Plains Shire previously have indicated the proposed land zoning in this area:

- Land west of Ormond Street will be future residential land (filled red area in Plan 1)
- Land east of Ormond Street has been identified as priority future residential zone (highlighted pink in Plan 1). Sewerage Planning have previously indicated that a reticulated sewer can drain to the north, the proposed gravity sewer alignment is shown as a dotted red line in Plan 1 below.



Plan 1 Development location within Bannockburn South

The existing Bannockburn sewer system is located towards the north east of the proposed development areas. There are 3 development areas that require a sewer service. The areas are summarized below:

- **Area 1** can be served by the existing DN300 gravity sewer within Bruce Street.
- **Area 2** – The northern section can discharge into Area 1. The southern section can discharge into Area 3.
- **Area 3** is located on land that is steep, that naturally drains towards to the east towards Bruce Creek. The development can be accommodated by the Bannockburn No. 4 Sewer Pump Station (red triangle on Plan 2). This pumps station is deep and can accommodate Area 2.



Plan 2 Proposed sewer strategy development at 20, 25 and 30 Ormond Road, Bannockburn.

#### Future Sewers within Area 3

The future gravity sewers within Area 3 will need to have the appropriate depth to ensure it can service the future priority residential developer land to the south, as shown in Plan 1 above.

Should you have further questions about this letter, please contact the officer listed above.

Kind Regards,

Chris Molloy  
Project Team Leader  
Enterprise Project Delivery